



1431 Merivale Road

Vacant Space Report

Spring 2011 Update



Barrister House – 180 Elgin Street



56 Sparks Street

1801 Woodward Drive
Ottawa, ON K2C 0R3



TEL 613-226-2000
FAX 613-225-0391

Vacant Space Report – Spring 2011 Update INDEX

DOWNTOWN CORE	180 Elgin Street 56 Sparks Street 60 Queen Street
WEST END	1431 Merivale Road 65 Auriga Drive 1574 Carling Avenue
WAREHOUSE SPACE	85 Bentley Avenue
STORAGE SPACE	245 Cooper Street
DEVELOPMENT SITES	875 Carling Avenue Kanata Lands 47-55 Cleopatra Drive 1445 Merivale Road – Burris Lands 1881 Merivale Road at Jamie Avenue Kingston Lands

Arnon Corporation is one of the most successful property developers and landlords in Canada's Capital. Since the early 1960s, **Arnon** has built a reputation founded on integrity and responsiveness to client needs. **Arnon's** approach to business is the result of years of experience in the property development and management fields. It is also based on: comprehensive analysis and planning; the provision of an integrated, full-service organization; a staff of flexible, highly trained professionals; and the involvement of principals in every project. **Arnon** has achieved an exceptional level of success by making sound, timely business decisions and by consistently demonstrating to clients and tenants that a relationship with **Arnon** means more than a contract – it means commitment.



62 Auriga Drive



1600 Star Top Road

1801 Woodward Drive
Ottawa, ON K2C 0R3



TEL 613-226-2000
FAX 613-225-0391

DOWNTOWN CORE

1801 Woodward Drive
Ottawa, ON K2C 0R3



TEL 613-226-2000
FAX 613-225-0391

Barrister House

Office Space for Lease

Location: 180 Elgin Street, Ottawa

Building Area: 94,102 sf

Contact: Mr. Michael Casey or Gilad Vered
Arnon Corporation
Phone: 613-226-2000
Fax: 613-225-0391
E-mail: mcasey@arnon.ca
or gvered@arnon.ca

Available Space:

Floor	Rentable sf	Usable sf	Date Available
8 th	1,484	1,325	Immediately
9 th (A)	1,409	1,294	Immediately
9 th (B)	2,273	2,084	Immediately



Building Description

Barrister House is situated in the heart of Ottawa, immediately opposite the Central Court and Registry Office. It is a pleasant walk to the Rideau Centre, Sparks Street Mall and Parliament Hill.

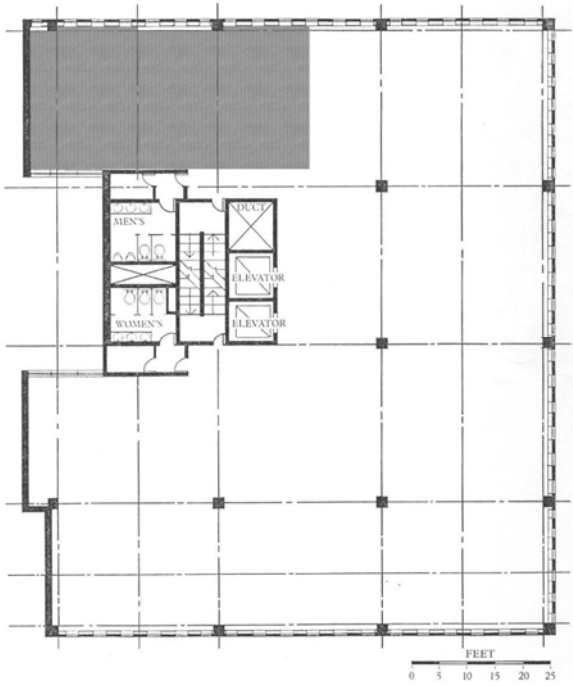
Ten floors of office space and five floors of parking provide for the needs of both tenants and their clients. The systems in Barrister House were designed for effectiveness and energy conservation. Continuous monitoring ensures that the heating, cooling and ventilation levels are properly adjusted for comfort and energy efficiency.

Parking: One space per 1,000sf of rentable area available in the parking garage of the building. Access to the parking garage is on Nepean Street.

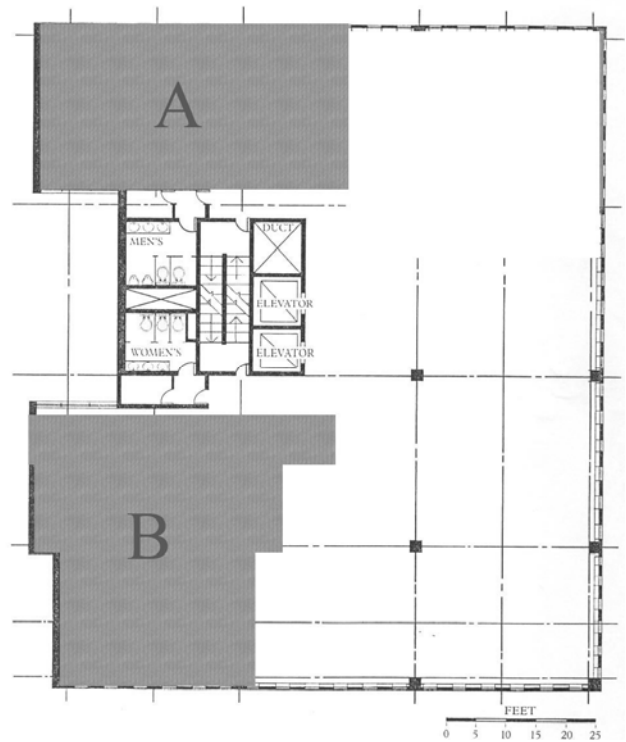
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Ottawa, ON K2C 0R3



TEL 613-226-2000
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8th floor: 1,484 sf



9th floor: A=1,409 sf / B=2,273 sf

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Ottawa, ON K2C 0R3



TEL 613-226-2000
FAX 613-225-0391

56 Sparks

Retail & Office Space for Lease

Location: 56 Sparks Street, Ottawa

Building Area: 77,791 sf

Contact: Mr. Michael Casey or Gilad Vered
Arnon Corporation
Phone: 613-226-2000
Fax: 613-225-0391
E-mail: mcasey@arnon.ca
or gvered@arnon.ca

Available Space:

Type	Floor	Rentable sf	Usable sf	Date Available
Retail	QS	2,512	2,154	immediately
Office	3 rd	390	355	immediately
Office	4 th	3,025	2,750	immediately



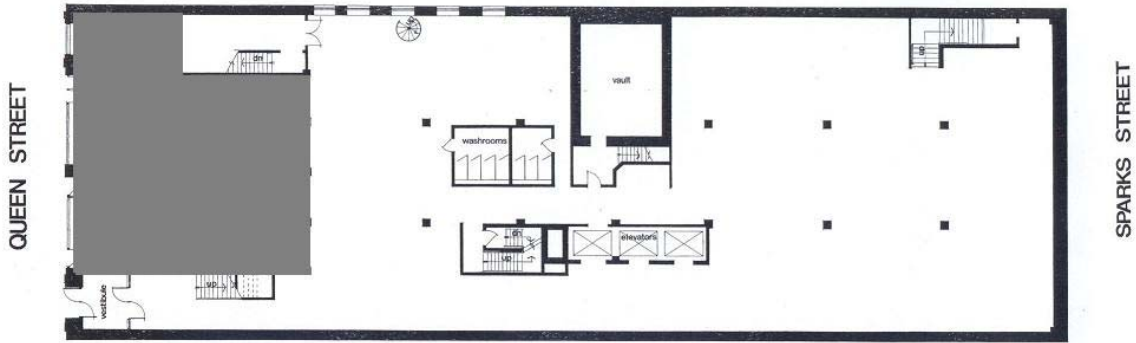
The Ottawa Hydro-Electric Building is a designated Heritage building originally constructed in 1927 and purchased by Arnon in 1977. This 10-storey building is bounded to the south by Queen Street, to the north by Sparks Street and to the east and west by commercial buildings. It is in close proximity of Parliament Hill, the National Arts Centre, the Congress Centre and the Court House.

The building has been fully upgraded and extremely well maintained. The offices are occupied by a diverse mix of long-term tenancies.

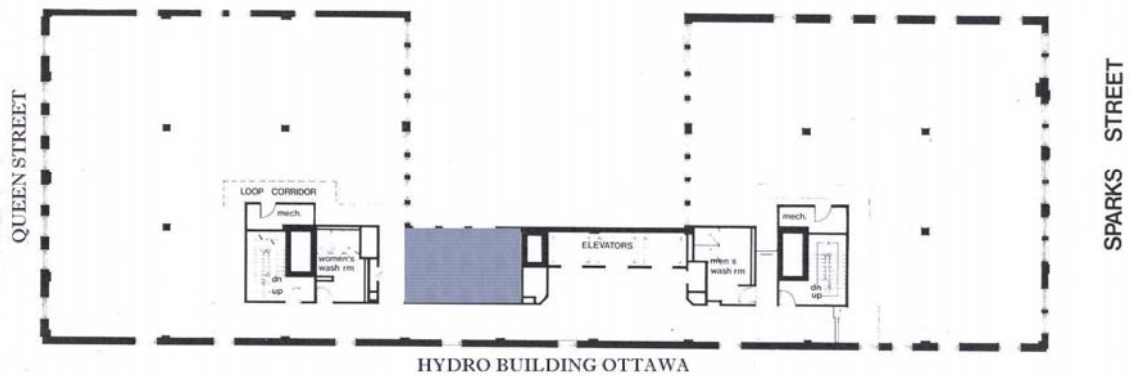
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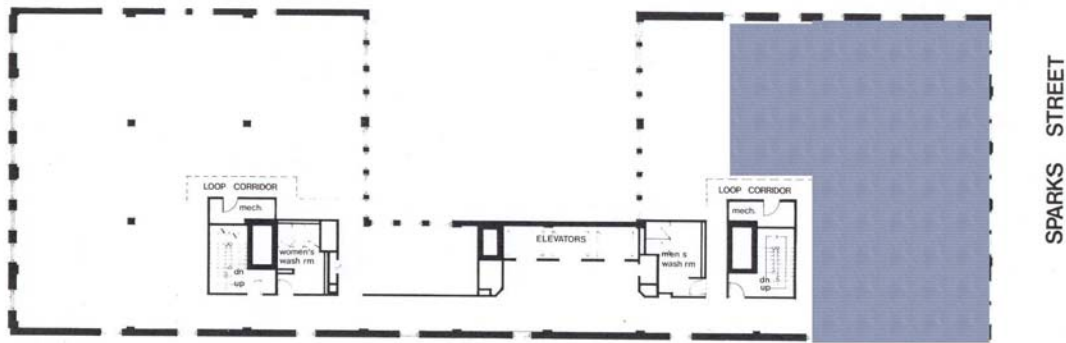
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Queen Street Level: 2,512sf (Retail)



3rd floor: 390sf (Office)



4th Floor: 3,025sf (Office)

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60 Queen

Office Space for Lease

Location: 60 Queen Street, Ottawa

Building Area: 130,741 sf

Contact: Mr. Michael Casey or Gilad Vered
Arnon Corporation
Phone: 613-226-2000
Fax: 613-225-0391
E-mail: mcasey@arnon.ca
or gvered@arnon.ca

Available Space:

Floor	Rentable sf	Usable sf	Date Available
12 th	9,135	7,644	October 1, 2011



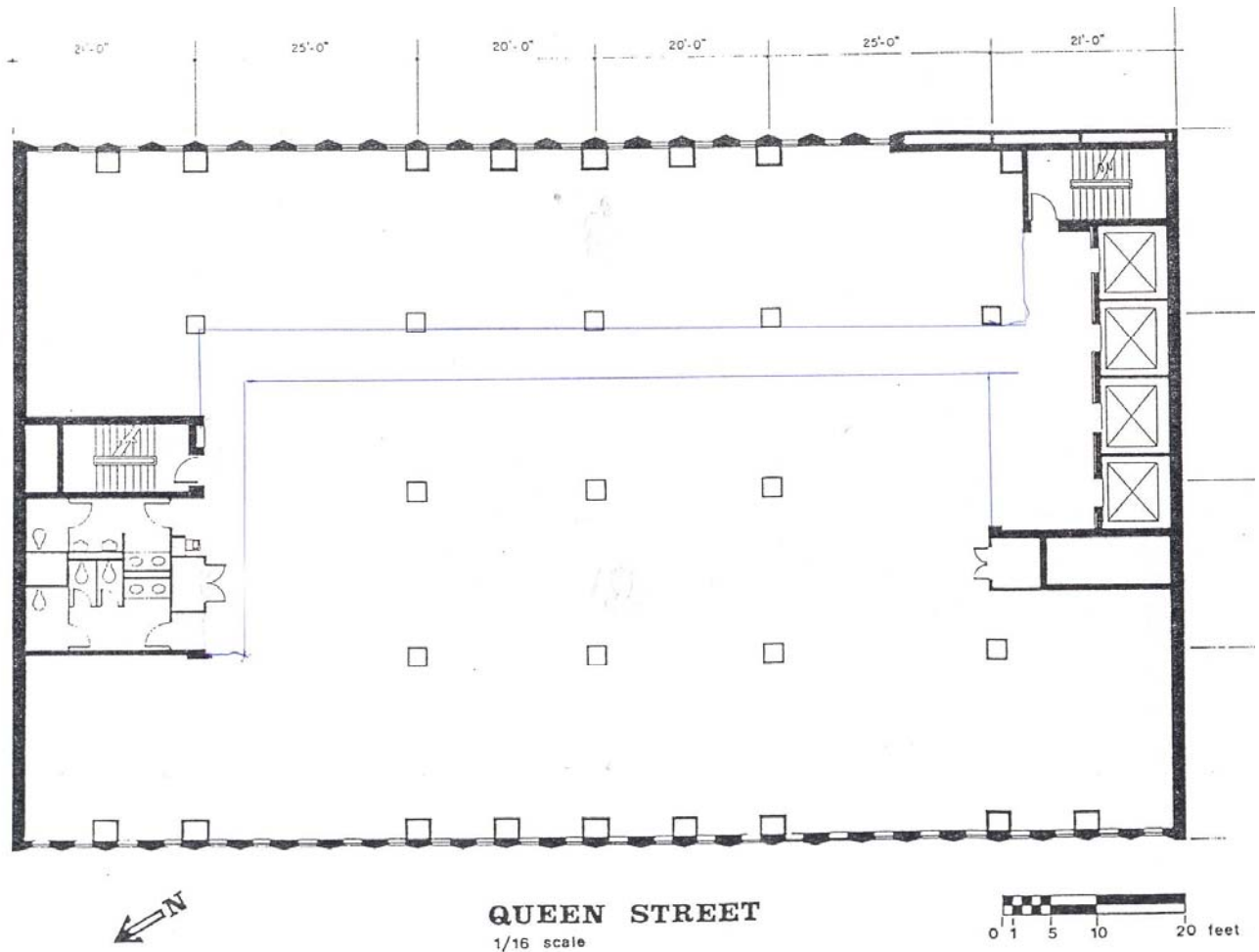
Sixty Queen provides for 14 floors of office space. A typical floor is comprised of approximately 9,441 sf. The floor plate is extremely efficient and features a low common area factor of 3.1% based on full floor occupancy. The ground floor lobby is elegantly appointed with Italian marble and brass finishings. To provide expeditious vertical transportation, the four elevators provide for 3,000lb capacity at a speed of 500 feet per minute.

Sixty Queen provides an excellent fire protection system including fire detection and alarm, smoke control and fire suppression systems.

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TEL 613-226-2000
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12th Floor: 9,135 sf

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TEL 613-226-2000
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WEST END

1801 Woodward Drive
Ottawa, ON K2C 0R3



TEL 613-226-2000
FAX 613-225-0391

1431 Merivale Road

Office Space for Lease

Location: 1431 Merivale Road, Ottawa
Building Area: 45,936 sf
Contact: Mr. Michael Casey or Gilad Vered
 Arnon Corporation
 Phone: 613-226-2000
 Fax: 613-225-0391
 E-mail: mcasey@arnon.ca
 or gvered@arnon.ca

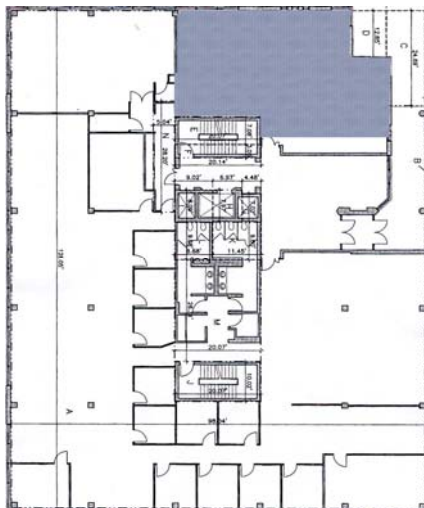


Building Description

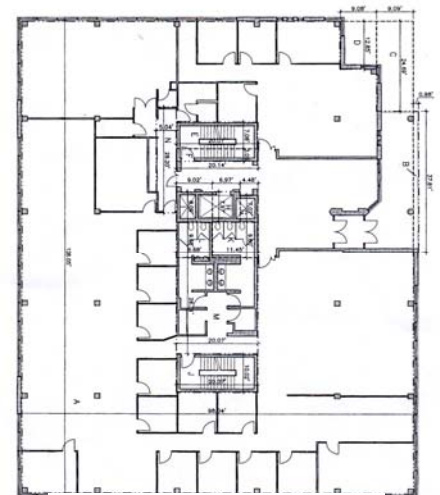
1431 Merivale is conveniently located close to the intersection of Baseline and Merivale. Restaurants and shopping are within easy walking distance.

Available Space:

Floor	Rentable sf	Usable sf	Date Available
Lower level	10,795	9,566	immediately
Ground floor	1,695	1,488	immediately



Ground Level



Lower Level

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65 Auriga Drive

Office Space for Lease

Location: 65 Auriga Drive, Ottawa

Building Area: 48,764 sf

Contact: Mr. Michael Casey or Gilad Vered
Arnon Corporation
Phone: 613-226-2000
Fax: 613-225-0391
E-mail: mcasey@arnon.ca
or gvered@arnon.ca



Available Space:

Floor	Rentable sf	Usable sf	Date Available
2 nd	20,160	18,696	July 1, 2011

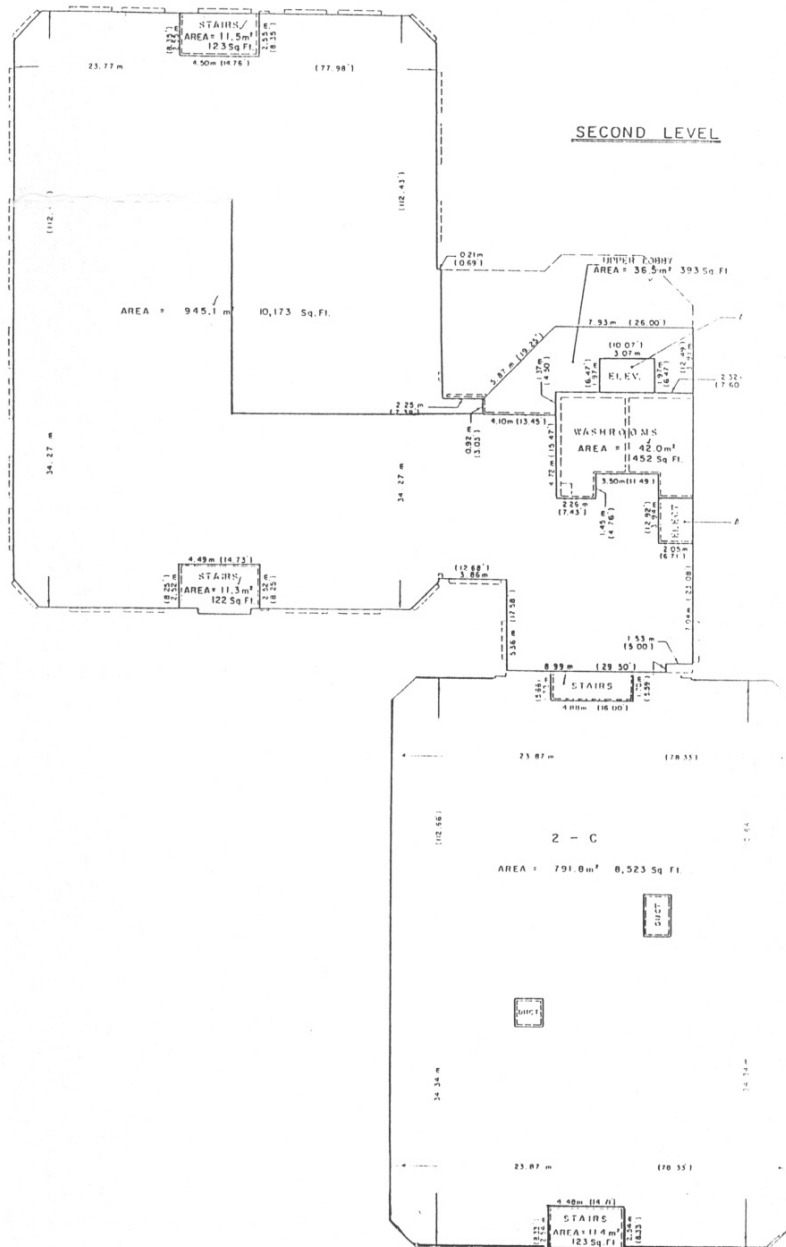
65 Auriga is a first class business centre comprised of two 2-storey pods and one 1-storey pod. Each pod has a rentable area of approximately 10,000 square feet. The building features a two-storey atrium and is fully accessible to the handicapped.

65 Auriga is conveniently located in the Nepean Business Park accessible from both Merivale Road and Prince of Wales (Hwy 16). The Hunt Club corridor is close by to provide each access both east and west.

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2nd Floor: 20,160 sf

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1574 Carling Avenue

Retail/Warehouse Space for Lease

Location: 1564-1574 Carling Ave, Ottawa

Building Area: Office 7,893 sf
Retail 7,747 sf
Warehouse 21,744 sf

Contact: Mr. Michael Casey or Gilad Vered
Arnon Corporation
Phone: 613-226-2000
Fax: 613-225-0391
E-mail: mcasey@arnon.ca
or gvered@arnon.ca



Building Description

The Vail's Building is comprised of retail stores on the ground floor facing the street, offices on the 2nd floor and warehouse space at the rear of the building. It is conveniently located on the south side of Carling Avenue east of Churchill Ave. This site provides easy access to both east and west Highway 417 at Kirkwood Ave.

Available Space:

Floor	Rentable sf	Date Available
Ground	3,200	October 1, 2011

Retail/Warehouse Ground Floor



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WAREHOUSE SPACE

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TEL 613-226-2000
FAX 613-225-0391

85 Bentley

Warehouse Space for Lease

Location: 85 Bentley Avenue, Ottawa

Building Area: 30,158sf

Contact: Mr. Michael Casey or Gilad Vered
Arnon Corporation
Phone: 613-226-2000
Fax: 613-225-0391
E-mail: mcasey@arnon.ca
or gvered@arnon.ca

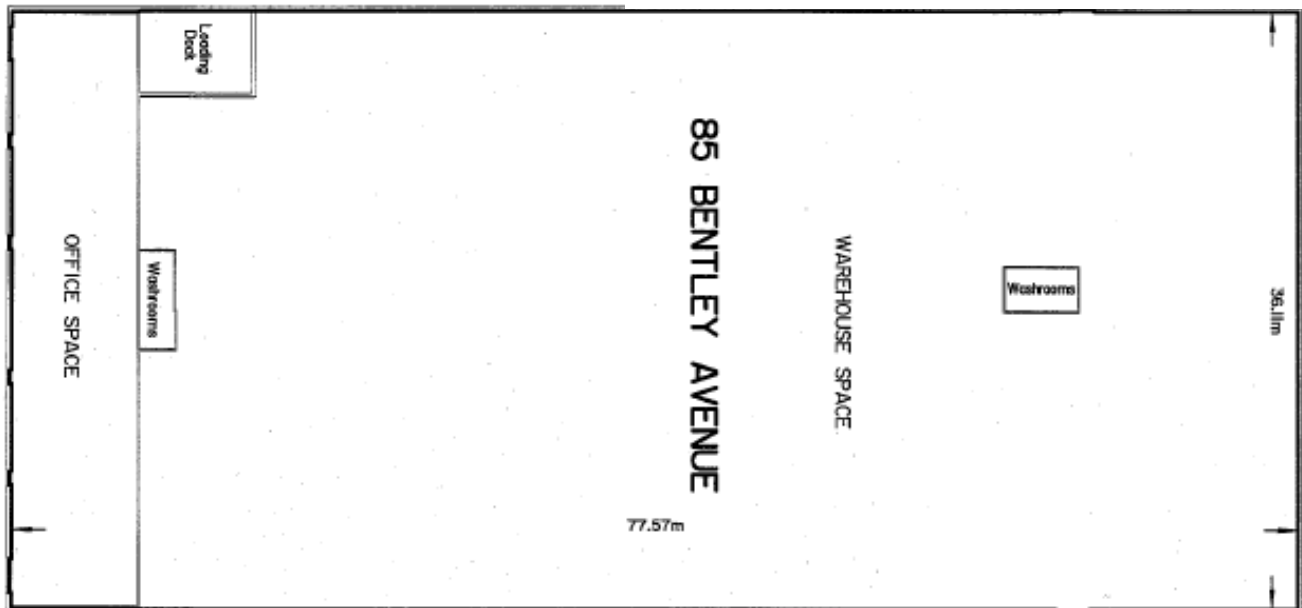


Available Warehouse Space: 30,158 sf

Availability: Immediate

Building Description

85 Bentley is a warehouse building with 3,000 square feet of office space and 27,100 square feet of storage space. The slab to the underside of truss height is 16ft, 4inches.



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STORAGE SPACE

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FAX 613-225-0391

245 Cooper

Storage Space for Lease

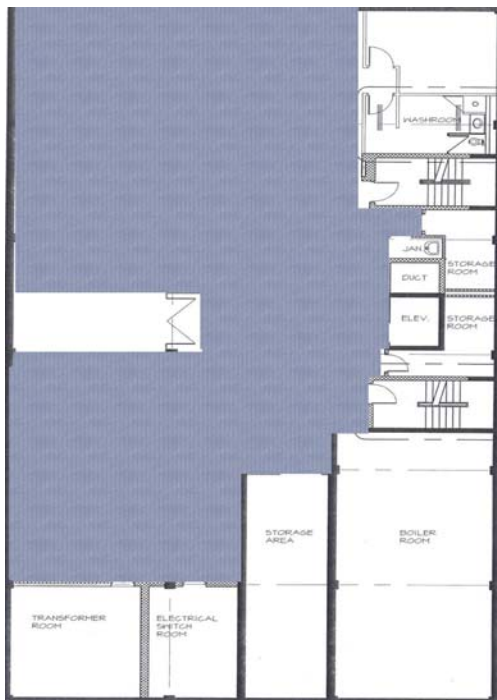
Location: 245 Cooper Street, Ottawa

Building Area: 36,000 sf

Contact: Mr. Michael Casey or Gilad Vered
Arnon Corporation
Phone: 613-226-2000
Fax: 613-225-0391
E-mail: mcasey@arnon.ca
or gvered@arnon.ca

Available Storage Space: 3,000 sf

Availability: Immediate



Building Description

The 245 Cooper office building, located in the heart of Ottawa's Centretown, was originally built in 1964. Currently there is a comprehensive renovation program underway. This program is encompassing all major building components. It includes a complete upgrade of the mechanical and electrical systems and the installation of new windows, ceiling grid, ceiling tiles, elevator machines, washrooms, and barrier-free washrooms.

The purpose of this report is to show a proposed layout of the vacant premises (shaded) and its contents are not intended as a representation as to the precise size or dimension of the vacant premises.

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DEVELOPMENT SITES

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TEL 613-226-2000
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875 Carling Avenue

Development Site

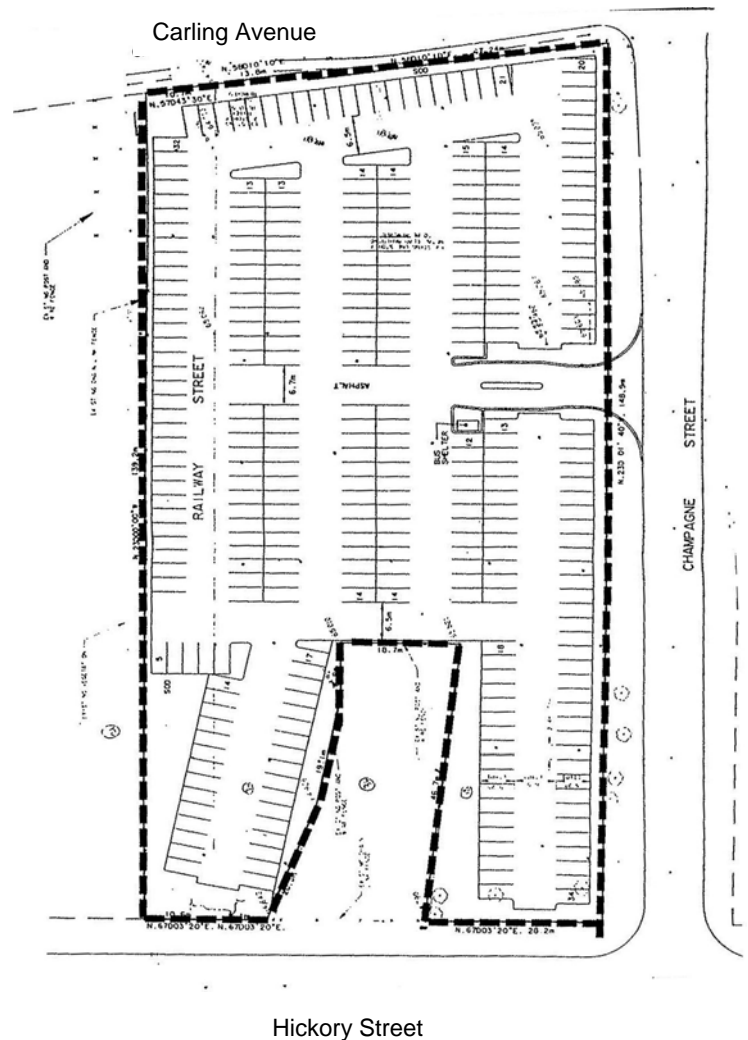
Location: 875 Carling Avenue (bordered by Champagne South & Hickory St.)

Lot Area: 100,000 sf

Contact: Mr. Michael Casey or Gilad Vered
Arnon Corporation
Phone: 613-226-2000
Fax: 613-225-0391
E-mail: mcasey@arnon.ca
or gvered@arnon.ca

Available Building Space: 401,000 sf

The building will offer views over Dows Lake and NCC parklands, with amenities and restaurants close by.



The purpose of this report is to show the approximate location and layout of the land offered and its contents are not intended as a representation as to the precise size or dimension of the land.

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The Cleopatra Lands

Build to Suit

Location: 47-55 Cleopatra Drive

Site Area: 34,110 sf (approximate)

Contact: Mr. Michael Casey or Gilad Vered
Arnon Corporation
Phone: 613-226-2000
Fax: 613-225-0391
E-mail: mcasey@arnon.ca
or gvered@arnon.ca

Available Development Potential:

- Building area 11,922 sf
- Parking for 48 cars

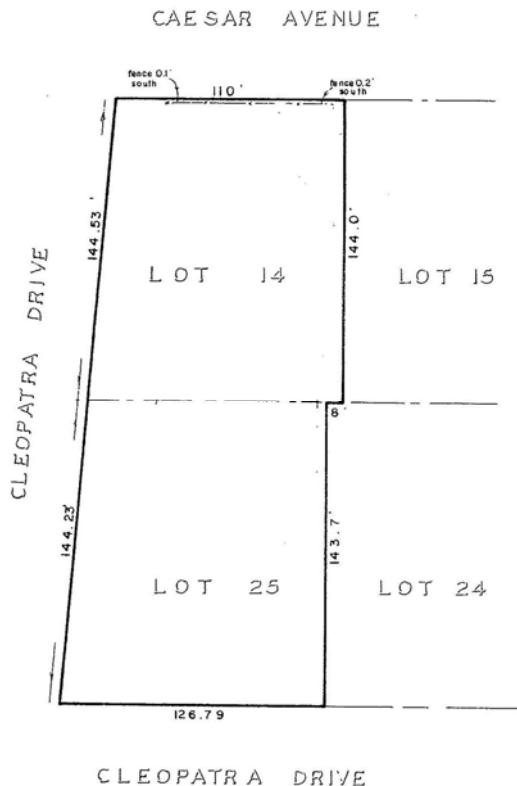
The Cleopatra Lands are located in the Nepean Industrial Park. The lands are bounded by Cleopatra Drive on the south and west sides and by Caesar Avenue on the north.

This location is ideally situated with easy access to the Merivale Road north/south corridor and the Hunt Club Road east/west corridor.

The neighbourhood is comprised of a commercial/retail mix which includes office buildings, retail strip malls, restaurants and service stations.

Zoning. This property is governed by the City of Nepean Zoning By-Law 39-81. The lands are governed by MS4 Industrial Service Zone. A partial list of the permitted uses under MS4 includes the following:

- Automobile & equipment repair garage
- Bakery, bank or restaurant
- Business office
- Dry cleaning & laundry establishment
- Equipment rental (domestic)
- Food and dairy products industry
- Printing or photographic establishment
- Manufacturing industry
- Sample and showroom
- Warehouse provided it is at the rear of showroom



The purpose of this report is to show the approximate location of the land offered (outlined) and its contents are not intended as a representation to the precise size or dimension of the land.

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Ottawa, ON K2C 0R3



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The Merivale/Burris Lands

Build to Suit

Location: 1445 Merivale Road
Land Area: 34,694 sf
Contact: Mr. Michael Casey or Gilad Vered
Arnon Corporation
Phone: 613-226-2000
Fax: 613-225-0391
E-mail: mcasey@arnon.ca
or gvered@arnon.ca

Available Space: 6,051 sf

Availability: Immediate

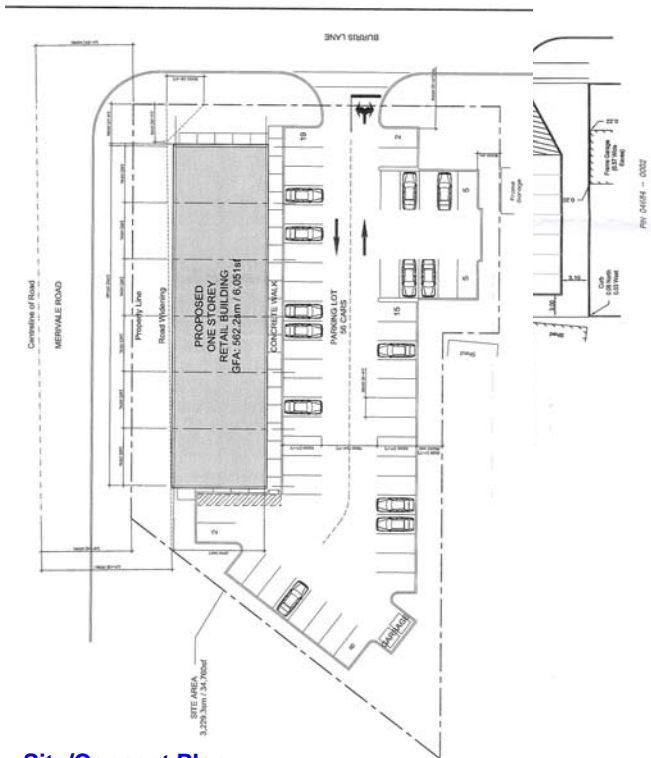
Merivale Road is a major north-south arterial and Baseline Road, the east-west arterial, is only a few blocks away. Access to Highway 417 is less than a mile away via Maitland Avenue.

The neighbourhood is comprised of a commercial-retail mix which includes office buildings, retail strip malls, restaurants and service stations. Adjacent to the site is a well established residential neighbourhood offering a wide client base for retail uses.

Concept Plan. One-storey building having a rentable area of 4,950 square feet and 46 parking spaces with access on Burris Lane.

Zoning. This property is governed by the City of Nepean Zoning By-law #100-2000 C0 Commercial Office Zone. A partial list of the permitted uses under CO8 includes the following:

- Bank
- Business office
- Medical/dental office
- Day nursery
- School commercial
- Respite care facility
- Veterinary establishment
- Commercial parking lot
- Retail



Site/Concept Plan

The purpose of this report is to show the approximate location of the land offered and its contents are not intended as a representation as to the precise size or dimension of the land.

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Ottawa, ON K2C 0R3



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Kingston, Ontario

Development Site

Location: Brock & Ontario Streets, Kingston

Site Area: 43,000 sf

Contact: Mr. Michael Casey or Gilad Vered
Arnon Corporation
Phone: 613-226-2000
Fax: 613-225-0391
E-mail: mcasey@arnon.ca
or gvered@arnon.ca

The Site

The site is ideally located beside the Kingston City Hall and adjacent to the scenic Kingston Harbour and is perhaps the best all-round commercial location in Kingston. The land fronts on Kingston's three main arteries:

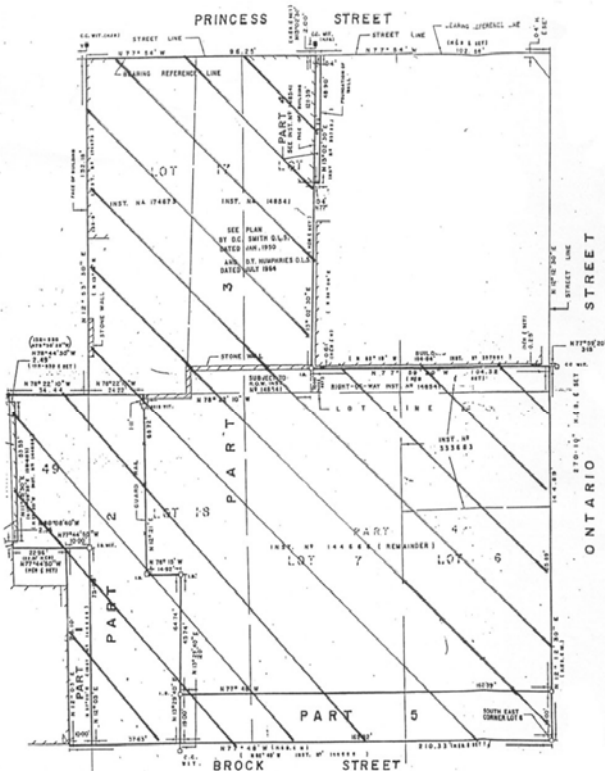
- 210.33 feet on Brock Street;
- 144.89 feet on Ontario Street; and
- 96.25 feet on Princess Street

Kingston's Brock Street is quickly developing into a specialty area of boutiques and restaurants; Ontario Street, because of its proximity to the Harbour, has developed with uses focused in the tourist and hospitality industry; and Princess Street is the major retail area of the downtown region.

With its majestic views of Lake Ontario, historic Fort Henry and the downtown area, the site is only steps away from many of Kingston's finest shops, restaurants, the Farmer's Market and recreational activities.

Zoning

Virtually all commercial uses as well as residential uses are permitted.



The purpose of this report is to show the approximate location (cross-hatched) of the land offered and its contents are not intended as a representation as to the precise size or dimension of the land.

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